



35 Leigh View Road, Portishead, BS20 7EB
Guide Price £675,000

GOODMAN
& LILLEY



THE INDEPENDENT SALES, LETTINGS & LAND AGENTS

35 Leigh View Road, Portishead, BS20 7EB

A beautifully presented, six double bedroom semi-detached home offering well proportioned accommodation throughout.

This handsome attached period house dating back to the late Victorian period is built of local stone with a bay to the front, tall chimneys and under a tiled roof. The house has undergone an extensive programme of improvements and has been finished with great attention to detail, tasteful decorations throughout and highly appointed, beautifully fitted 32'8 kitchen with granite worktops and modern traditional bathrooms. The reception rooms are well proportioned with high ceilings, cornicing, ceiling roses and traditional fireplaces which are indicative of the era.

The convenient location makes it the ideal choice for a variety of purchasers, with easy access to both Portishead's traditional High Street and the delights that the Marina has to offer, with a selection of Bars and Restaurants to enjoy in both locations. The family buyer will warm to the nearby Eastwood and Lake Grounds, providing children the perfect space to explore or play the various sporting activities 'the Lake Grounds' has to offer or enjoy a picnic during those warm summer months.

Offering true flexibility of use, as well an abundance of charm and character, typically associated with a quintessentially English Victorian home. Goodman & Lilley anticipate a good degree of interest due to its location and the accommodation on offer. Call us today on 01275 430440 and talk with one of our property professionals to arrange an internal inspection.

M5 (J19) 3 miles, M4 (J20) 11 miles, Bristol Parkway 14 miles, Bristol Temple Meads 10.5 miles, Bristol Airport 12 miles (distances approximate)

- Substantial Victorian Home
- Arranged Over Four Floors
- West Facing Garden
- Well Presented Throughout
- Six Double Bedrooms
- Three Reception Rooms
- Period Features
- Approximately 2,798 SQ FT

Accommodation Comprising;

Entrance Vestibule

Secure front door opening to the entrance hall, period corniced ceiling, stained glass inner door opening to:-

Reception Hall

With staircase rising to first floor landing with turned wood banister, ornate plaster coving, arched corbels, traditional school radiator, exposed wooden flooring, tall skirting, timber doors opening to principal rooms:-

Drawing Room

13'8" x 16'7"

Deep bay window to front aspect with hardwood double glazed sash windows, exceptional high ceiling with deep ornate plaster work, original ornate slate fireplace with traditional open fire.

Living Room

12'10" x 21'2"

This elegant room enjoying a westerly aspect with two hardwood double glazed sash windows to rear aspect, two traditional school radiators, slate fireplace with inset wood burning stove, detailed cornice and ceiling rose, TV point, stairs descending to lower ground floor, timber glazed door opening to:

Lobby

With hardwood courtesy double glazed door opening to the side of the property, under stairs storage cupboard, original wooden dresser with shelving over, door opening to the entrance hall.

Lower Ground Floor

With stairs descending to:-

Open Plan Dining Area

12'10" x 20'10"

A superb room providing substantial entertaining space with hardwood double glazed bi-folding doors opening to the garden Two vertical column radiators, ceramic tiled flooring, TV point, open plan to:-

Kitchen/Breakfast Room

19'10" x 16'9"

Fitted with a comprehensive range of matching modern cream fronted base, drawers and eye level units with under lighting, granite worktop space over, 1+1/2 bowl stainless steel sink with single drainer, integrated dishwasher, space for fridge/freezer and range cooker with extractor hood over, hardwood double glazed bay sash window to front aspect, radiator with granite window seat, ceramic tiled flooring, open plan to Store Room, door to:

Utility Room

13'11" x 3'8"

Fitted with a matching range of modern cream fronted base units with granite worktop space over, stainless steel sink unit with single drainer, plumbing for washing machine, ceramic tiled flooring, open plan to Pantry, door to:

Cloakroom

Fitted with two piece modern white suite pedestal wash hand basin, low-level WC and extractor fan, tiled splashbacks, radiator, ceramic tiled flooring, open plan, door to:

Laundry Room

3'9" x 3'9"

Vent for tumble dryer, ceramic tiled flooring.

First Floor Landing

Storage cupboard, traditional school radiator, first floor landing with turned wood banister rising to second floor landing, door to:

Master Bedroom

13'8" x 17'0"

Two hardwood double glazed sash windows to front, tradition school radiator, coving to ceiling, and slate fireplace, hardwood double glazed French doors opening to the Balcony, door to:

Walk In Wardrobe

With hanging rails and shelving, hardwood double glazed sash window to side aspect.

Balcony

Enjoying an easterly orientation with a cast iron balustrades

En-Suite Shower Room

Fitted with three piece modern white suite comprising recessed tiled double shower enclosure with fitted shower and glass screen, vanity wash hand basin with cupboards under, tiled splashbacks and shaver point, low-level WC and heated towel rail, shaver point, hardwood frosted double glazed sash window to front, ceramic tiled flooring.

Bedroom Two

12'0" x 12'5"

Hardwood double glazed sash window to rear aspect, Bath stone surround with cast iron fireplace, double panel radiator, coving to ceiling.

Bedroom Five

12'3" x 8'1"

Hardwood double glazed sash window to rear, double panel radiator, two telephone points, coving to ceiling.

Second Floor Landing

Hardwood double glazed sash window to side, double glazed Velux window, door to airing cupboard housing hot water tank with gas fired 'Vaillant' boiler serving heating system and domestic hot water system, door to:

Bedroom Three

13'5" x 11'7"

Hardwood double glazed sash window to front, exposed ceiling timbers, double panel radiator.

Bedroom Four

12'3" x 11'11"

Hardwood double glazed sash window to rear, fireplace with timber surround, exposed ceiling timbers, double panel radiator.

Bedroom Six

13'10" x 8'7"

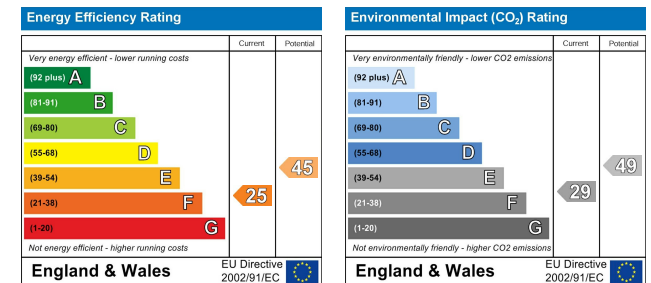
Hardwood double glazed sash window to front, double radiator, exposed ceiling timbers.

Family Bathroom

Fitted with four piece modern white suite comprising roll top bath with claw feet, pedestal wash hand basin and low-level WC, tiled double shower enclosed, full height tiling to two walls, heated towel rail, extractor fan, shaver point, hardwood double glazed sash window to rear, two heated old style towel rails, wooden laminate flooring.

Outside

The enclosed tiered rear garden enjoys a westerly orientation and is laid to both patio and an artificial lawn with a range of floral, shrub and ornamental tree boarders. The garden can be accessed via the side door and from the expansive bi-folding doors from the dining room which slide open to a rockery with steps leading up to the garden. To the rear of the garden is an raised patio with 14' x 8" hand built timber workshop and providing plenty of space for a table and chairs to enjoy the evening sun and dine al fresco style.



Portishead

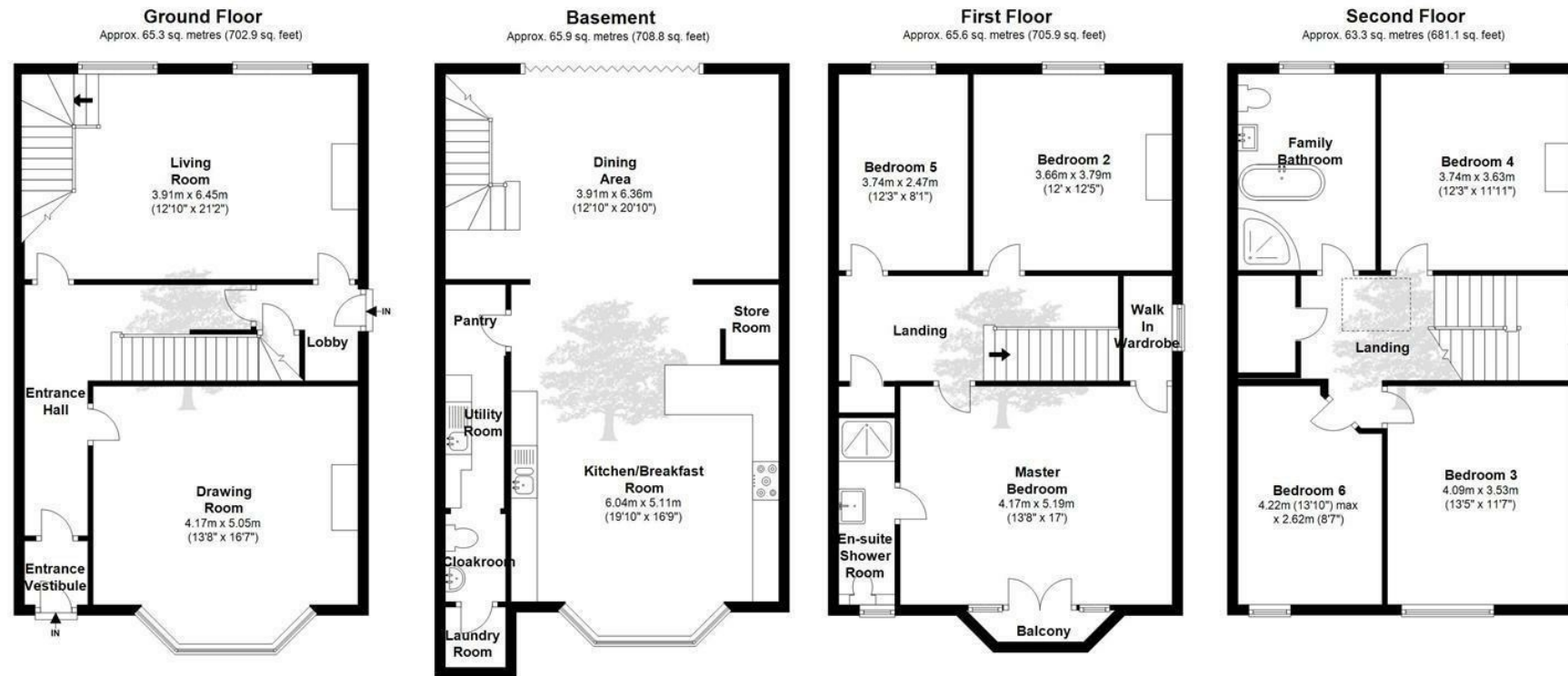
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Total area: approx. 260.0 sq. metres (2798.7 sq. feet)



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